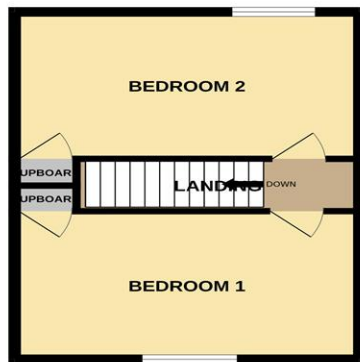
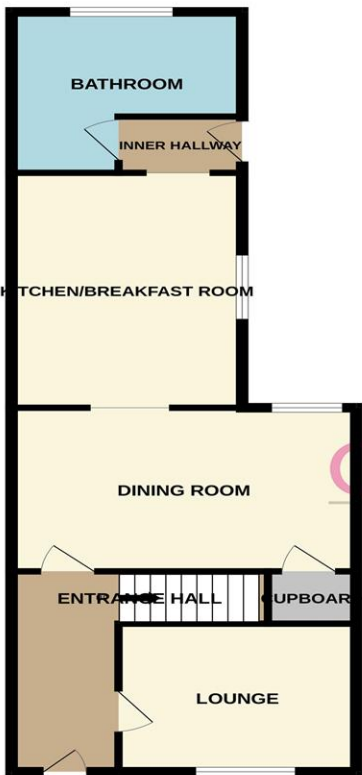




GROUND FLOOR

1ST FLOOR



Chambers
Sales and Lettings

Whilst every attempt has been made to ensure the accuracy of the floorplan contained here, measurements of floors, windows, rooms and any other items are approximate and no responsibility is taken for any error.

Disclaimer property details

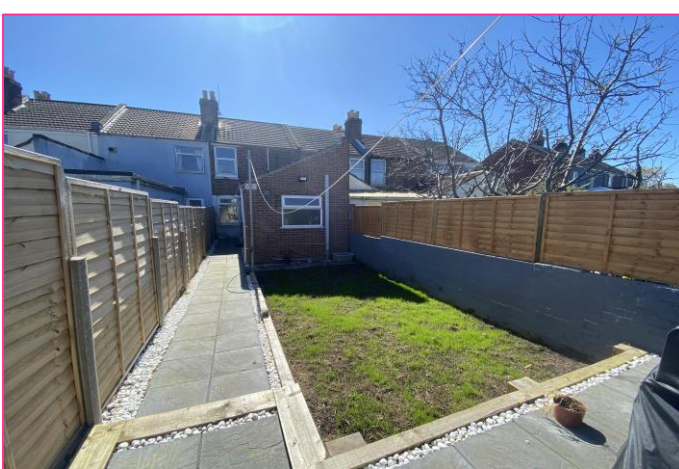
These particulars, whilst believed to be accurate are set out as a guideline only for guidance and do not constitute any part of an offer or contract. Intending purchasers should not rely on them as statements or representation of fact, but must satisfy themselves by inspection or otherwise as to their accuracy. We have not carried out a detailed survey nor tested the services, appliances and specific fittings. Room sizes should not be relied upon for carpets and furnishings. The measurements given are approximate. No person in this company's employ has authority to make or give representation or warranty in respect of the property.



FIXTURES AND FITTINGS

All items known as the owner's fixtures and fittings together with the curtains, light fittings and garden statuary are specifically excluded from the sale but certain items may be available by separate negotiation





**15 Avery Lane Elson
Gosport PO12 4SR**

£220,000

360 virtual tour available! A completely modernized two double bedroom family home situated in Elson close to local schools. This home briefly comprises entrance hall, lounge, dining room, re-fitted kitchen, re-fitted bathroom two double bedrooms and a private rear garden. This would make an ideal first time home or investment so call Chambers today to avoid disappointment. 01329 665700!

Front Door

Into:

Entrance Hall

Skimmed ceiling, laminate flooring, radiator, doors into:

Lounge 10' 0" x 9' 11" (3.05m x 3.01m)

Skimmed ceiling, PVCu double glazed window to front elevation, radiator, television point, laminate flooring.

Dining Room 13' 2" x 10' 1" (4.02m x 3.08m)

Skimmed ceiling, PVCu double glazed window to rear elevation, radiator, access to meters cupboard, laminate flooring.

Kitchen/Breakfast Room 13' 6" x 8' 8" (4.12m x 2.64m)

Skimmed ceiling with spot lights, re-fitted modern range of wall and base/drawer units with work surface over, integrated dishwasher, plumbing for washing machine, fridge/freezer, inset sink, oven with gas hob and hob over, laminate flooring, breakfast bar with space for stools, PVCu double glazed window to side elevation.

Inner Hall

Access to outside door and:

Bathroom 7' 9" x 6' 1" (2.37m x 1.85m)

Skimmed ceiling with spot lights, PVCu double glazed window to rear elevation, re-fitted suite comprising 'P' shaped bath, WC, vanity wash basin, extractor fan, fully tiled, heated towel rail.

First Floor Landing

Access to loft void, doors to:

Bedroom 1 13' 5" x 9' 11" (4.09m x 3.02m)

Skimmed ceiling, PVCu double glazed window to front elevation, access to cupboard, radiator.

Bedroom 2 13' 1" x 9' 11" (4.00m x 3.02m)

Skimmed ceiling, PVCu double glazed window to rear elevation, access to cupboard, radiator.

Outside

Rear Garden

A fully enclosed low maintenance rear garden mainly laid to lawn and further area laid to a raised paved area and paved path with shingled borders.



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